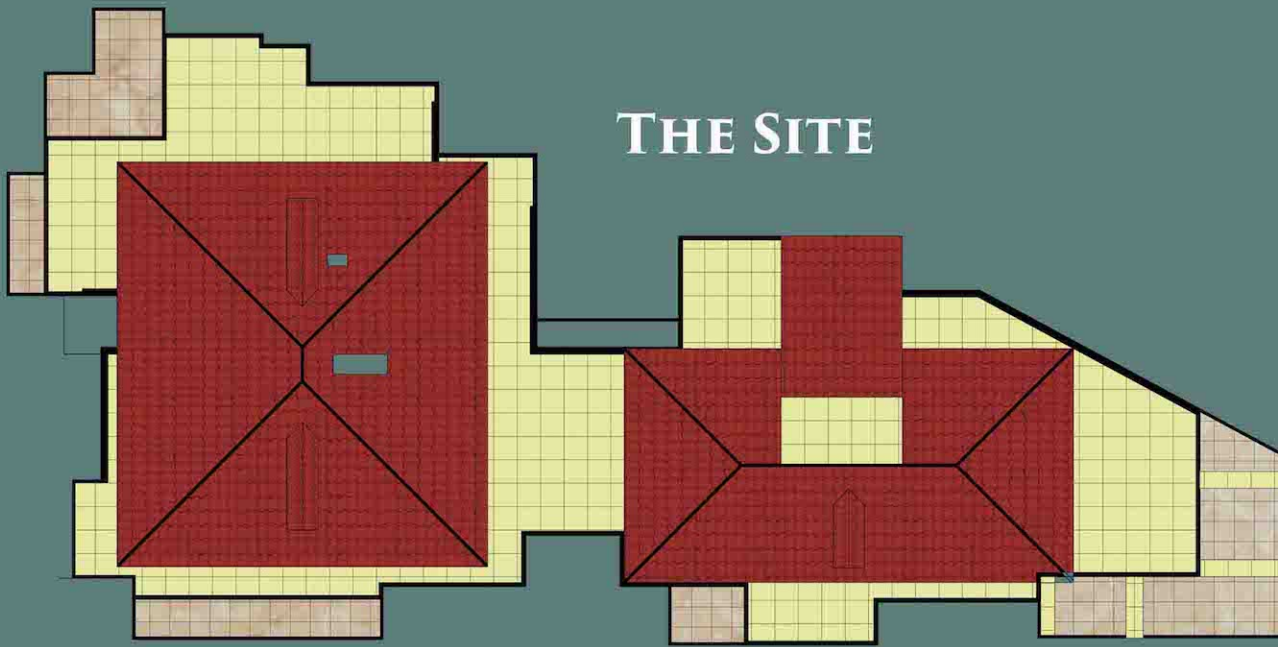


# KLEIAT 417





## THE SITE



KLEIAT 417 IS A HIGH-END RESIDENTIAL PROJECT LOCATED AT A UNIQUE HILL IN KLEIAT, ONE OF THE MOST VISITED AND TOURISTIC SUMMER VILLAGES IN LEBANON.

THE PROJECT IS LOCATED AT A NEAR PROXIMITY FROM KLEIAT MUNICIPALITY, IMMEDIATELY IN FRONT OF ST. SIMON CHURCH AND 2 MINUTES AWAY FROM ACHKOUT ROUNDABOUT.

ITS EXCEPTIONAL LOCATION OVERLOOKS BEIRUT, METN AND AAJALTOUN. IT COMBINES BOTH CHARMING SEAVIEW AND RELAXING MOUNTAIN SCENERY.

KLEIAT 417 CONSISTS OF 2 BUILDINGS, 4 FLOORS EACH, TOTALING 9 TWO-BEDROOMS APARTMENTS (130 TO 175SQM), 3 THREE-BEDROOMS APARTMENTS (148SQM) AND FOUR DUPLEXES (215 TO 260SQM).

ALL APARTMENTS INCLUDE A RECEPTION AREA, A LIVING ROOM, A DINING ROOM, A KITCHEN, 2 OR 3 SPACIOUS BEDROOMS, A BATHROOM, A GUEST TOILET, ONE PARKING SPACE, AND A STORAGE ROOM. SOME APARTMENTS HAVE MASTERBEDROOMS, AN ADDITIONAL MAID'S ROOM AND A SERVICE QUARTER. DUPLEXES HAVE ADDITIONAL LIVING ROOM AND HAVE MASTERBEDROOMS INSTEAD OF BEDROOMS.

## BUILDINGS' STRUCTURAL SPECS

### ENVELOPE:

- External double hollow block wall envelope;
- Natural stone and maplexine cladding facades;
- Glass and aluminum balustrades;
- External doors and windows: aluminum sliding double glazed clear tempered glass.

### COMMON AREA FINISHING:

- Stairs: Natural marble flooring;
- Main Entrance: False ceiling of painted gypsum boards;
- One elevator per block 'High Lift' with UPS system.

### PARKING:

- Floor tiling;
- Electrical parking gate with remote access control.

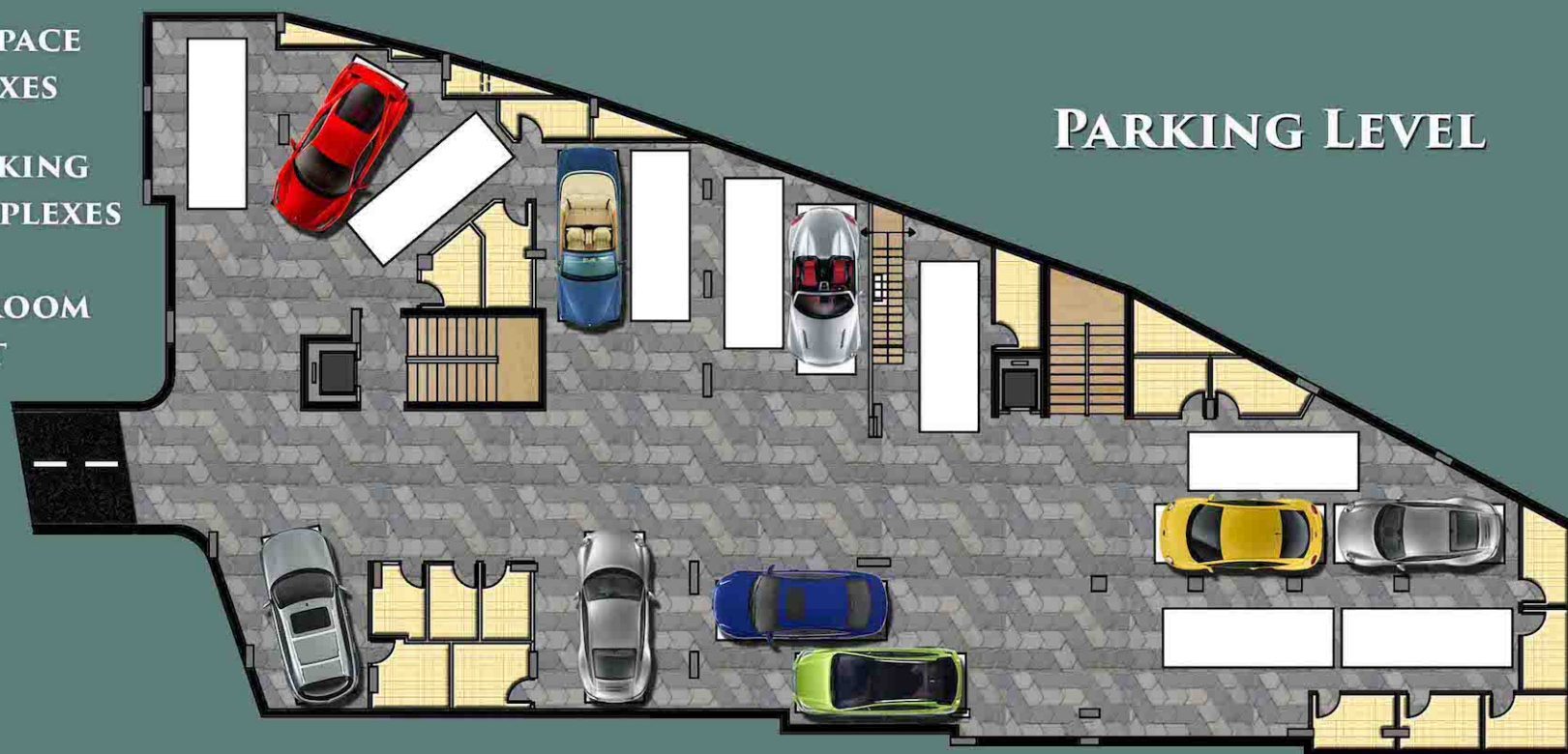
### STRUCTURE:

- Reinforced Concrete structure, foundations, retaining walls, columns, beams, slabs, and shear walls as per code zone II B for seismic design.





- 1 PARKING SPACE FOR SIMPLEXES
- UP TO 2 PARKING SPACES FOR DUPLEXES
- 1 STORAGE ROOM PER UNIT



## APARTMENTS' SPECS

### ARCHITECTURAL:

- MAIN ENTRANCE, LIVING ROOM, DINING ROOM, BEDROOMS & BALCONIES

Floor: Ceramic tiles (80x80 and 60x60 cm);

Walls: Plaster & emulsion paint with three coats of putty.

- KITCHEN

Floor & Walls: Full body ceramic tiles;

Kitchen Counter Top: Granite;

Kitchen Cabinets: Melamine water grade.

- WOOD WORK

Entrance Doors: Oak wood;

Internal Doors: MDF painted.

### ELECTRICAL:

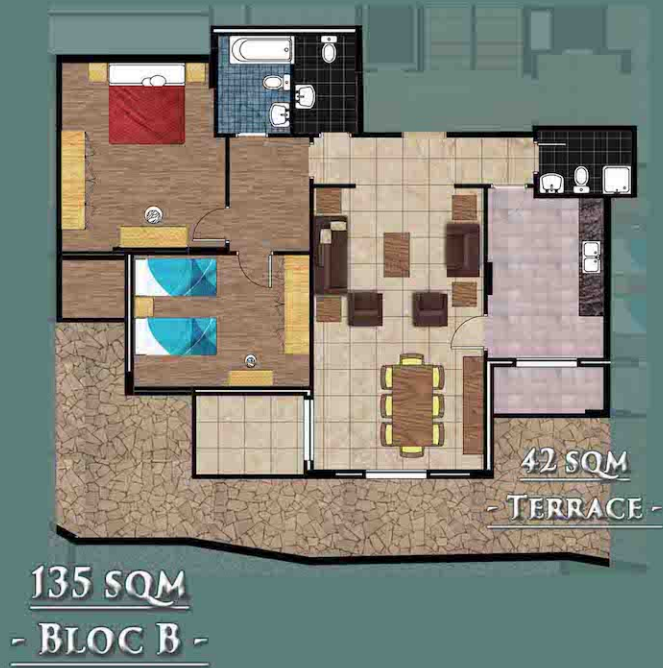
- Wires and Cables: Cables du Liban or equivalent;
- Electrical Accessories & Panel Boards: Legrand or equivalent;
- VideoPhone System;
- TV System: Cable TV access is provided for reception and distributed in all the apartment;
- Electrical rolling shutters.

### MECHANICAL:

- Central Heating System;
- Air-Conditioning System: Drainage pipe installed;
- Hot Water: Central domestic hot water tank;
- Plumbing: PPR water pipes;
- Underground Water Tank;
- Sewage Treatment Plan.



# UNDERGROUND





# GROUND FLOOR & FLOOR 1



# DUPLEXES - BLOC A -





DUPLEXES  
- BLOC B -



220 SQM

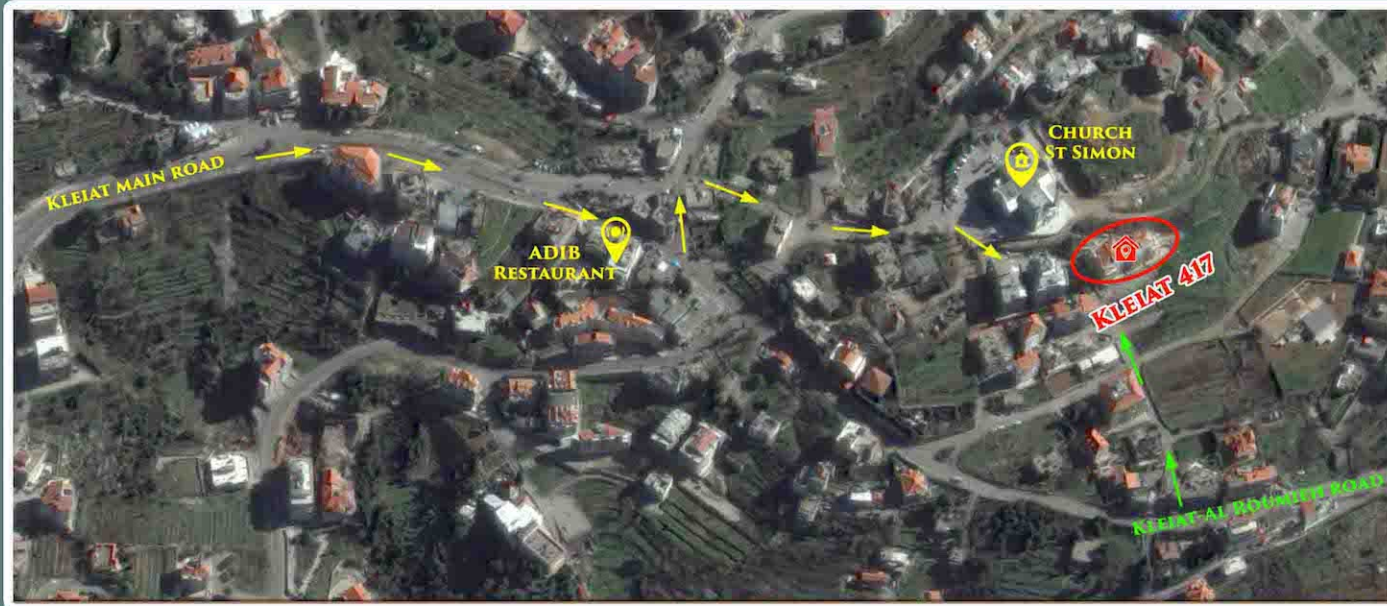


215 SQM





# SITE ACCESS



# CONTACT

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